

# 5 North Farm

Warenford



SANDERSON  
YOUNG





**5 North Farm**  
**Warenford, Belford, Northumberland,**  
**NE70 7HL**

**Impressive, six bedroom stone built detached house, with a gated gravel driveway with parking for several cars, a timber home office/studio and large lawned private gardens, with lovely open aspect views over the fields and countryside - ideal main home, second home or commercial holiday let only 5 miles inland from Bamburgh and the coast - NO UPWARD CHAIN**

5 North Farm is a substantial, six bedroom detached house, with excellent accommodation set over three floors, with an extensive gravelled driveway to the front for parking, and large garden to the rear with excellent open aspect views over the surrounding views and countryside.

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**Price Guide:**

Offers Over £660,000





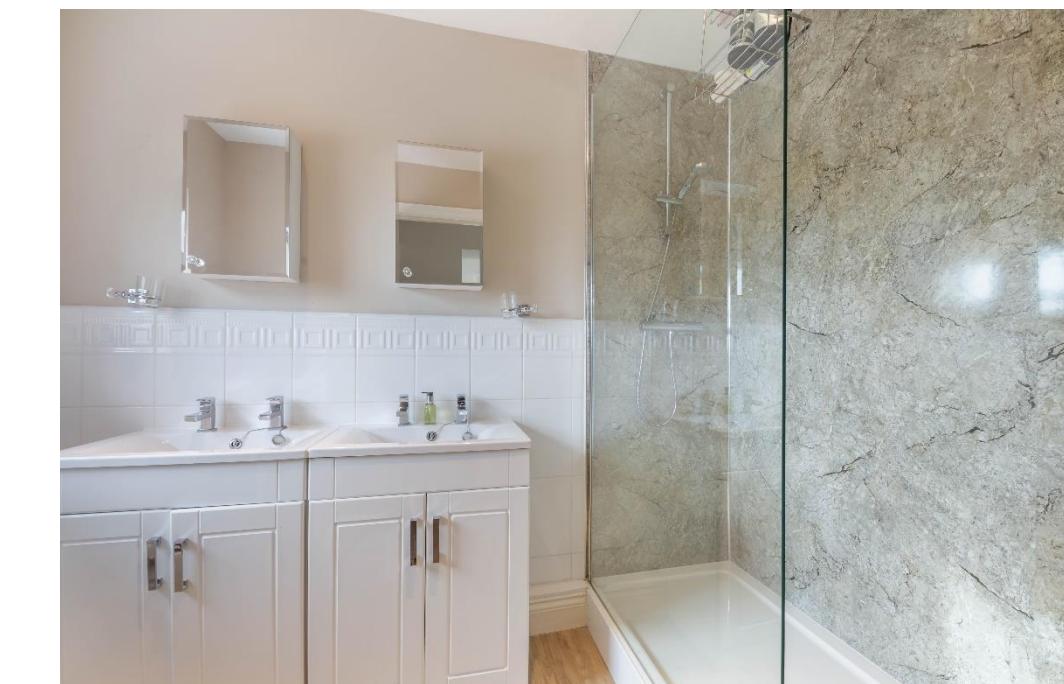
The house has been a main family home for the current owner, and more recently a holiday let for a short period of time - updating work in the last 3-4 years include; a refurbished family bathroom, a fabulous new open plan family kitchen/breakfast room, and redecoration throughout.

Ground floor - Hallway with cloakroom/wc | Fabulous open plan dining room with the staircase to the first and second floors | Good size sitting room with cast iron wood burning stove, stone fireplace and French doors to the rear garden | Magnificent family kitchen/breakfast room opening to a large versatile Garden room | Contemporary kitchen with a range of cabinets with sile stone worktops, and a breakfast bar, wine fridge and bar area - integrated appliances include an AEG induction hob & extractor, double oven, dishwasher and fridge/freezer | Garden room with triple aspect windows and French doors to the garden | Small utility room with plumbing for a washing machine & space for a tumble dryer.

First floor - First floor landing | Superb master bedroom with a vaulted beamed ceiling, three windows to the rear and two Velux windows | Dressing room with built in wardrobes and a Velux window | Ensuite shower room/wc with a large walk in shower, twin wash hand basins and wc | Guest double bedroom with a built in wardrobe | Guest ensuite shower/wc | Refurbished Family bathroom with a raised oval bath, wc and basin in a vanity cabinet | Double bedroom three with a double door wardrobe | Double bedroom four.

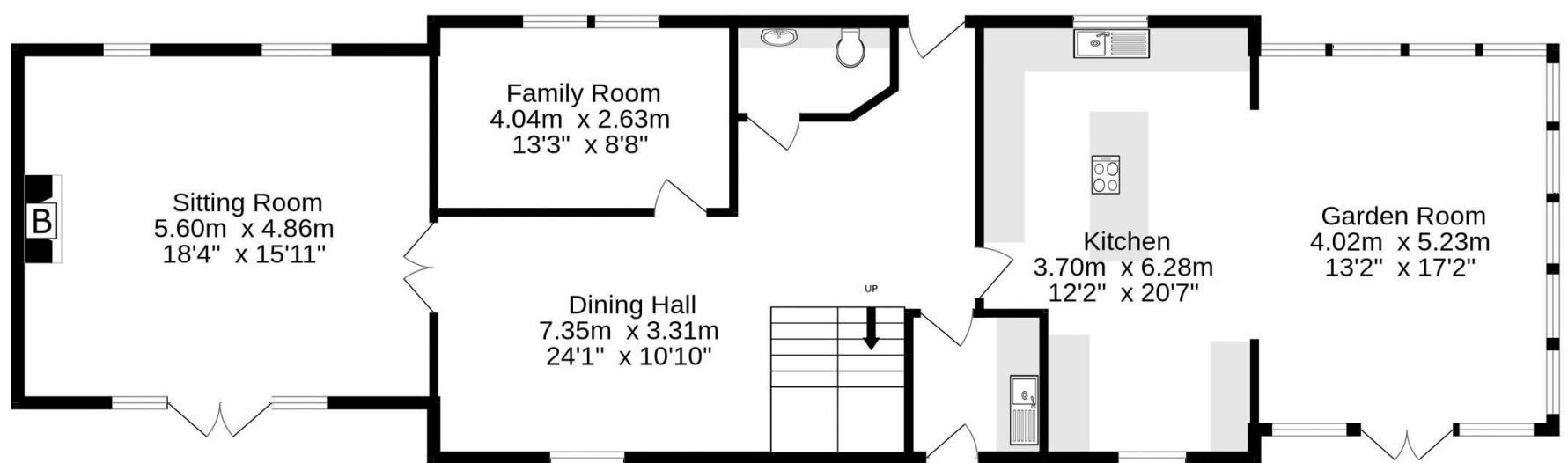


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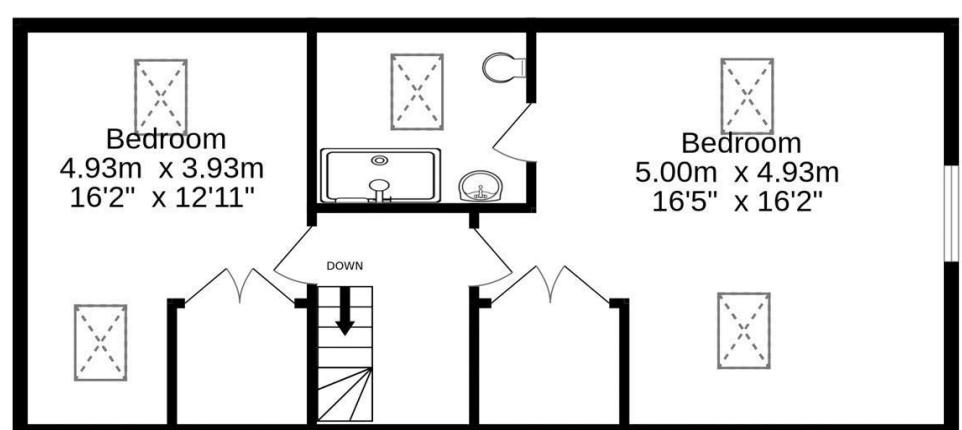
Ground Floor  
114.1 sq.m. (1228 sq.ft.) approx.



1st Floor  
93.6 sq.m. (1008 sq.ft.) approx.



2nd Floor  
54.5 sq.m. (586 sq.ft.) approx.



**Second floor - Second floor landing | Large loft bedroom five with two Velux windows and a double door wardrobe | Ensuite shower/wc with walk in shower, wc and basin and Velux window with great elevated views | Double bedroom six with a double door wardrobe and a Velux window.**

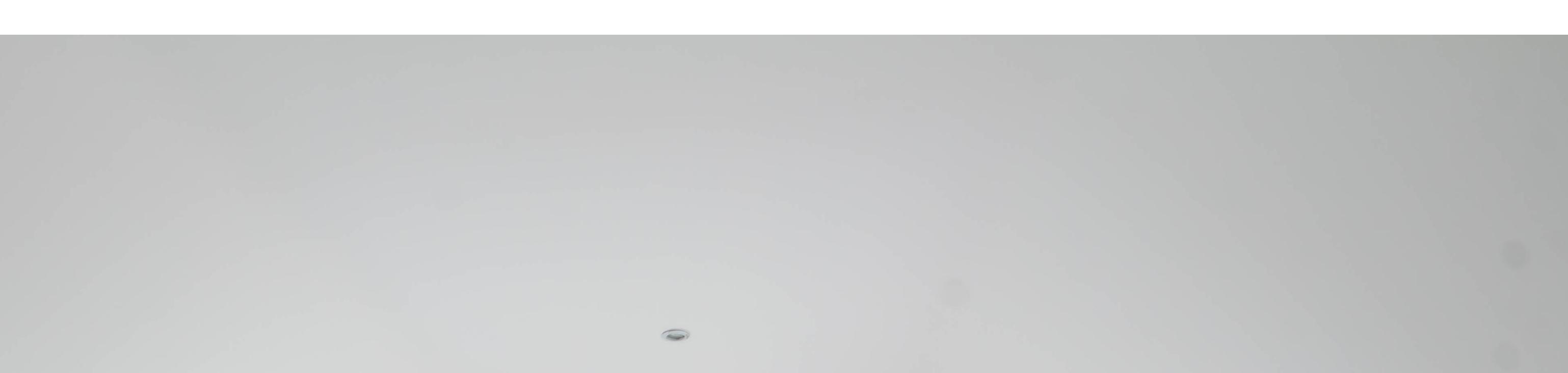
**Externally -** The property has a gated gravel driveway, with parking for a number of cars, leading to an external timber home office/gym with electric heating, lighting and Wi-fi. The gardens lie predominantly to the rear, with extensive lawns and open aspect views.

**Services:** Mains Electric, Gas & Water | Oil Central Heating | Shared Septic Tank | Tenure: Freehold | Council Tax: Band F | EPC: C

**TOTAL FLOOR AREA : 262.2 sq.m. (2822 sq.ft.) approx.**

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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